



LADERA RANCH

LADERA RANCH MAINTENANCE CORPORATION

AESTHETIC STANDARDS

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I. INTRODUCTION

Throughout the planning of Ladera Ranch, the underlying design philosophy has been to create a community character and quality that reflects the context of the region, the site's foothills, and its surrounding ranchlands. The integration of site planning, architecture, and landscape principles into neighborhood design is a fundamental goal of Ladera Ranch.

The 4,000 acre master planned community emphasizes a variety of residential housing types and reflects the aesthetic charm and neighborhood structure reminiscent of "early 20th century California" towns. By designing to a particular heritage, an architectural tradition for neighborhoods and individual residences shall be established. The community is organized into five villages and each village will have a distinct character which emphasizes the setting and residential program of that village, each individual home will have its own character and identity serving to establish that image.

These same principles will be applied through the Aesthetic Standards to further define the architectural and landscape theme for your home today and for years to come. The Aesthetic Standards are meant to assist you in the implementation of design direction and guidance.

II. PURPOSE

The goal of the Aesthetic Standards is to provide general design criteria and guidance for future enhancement of your home and visual compatibility to your home's particular architectural style. To achieve this goal, the Aesthetic Standards are organized into three separate elements:

- a) The Aesthetic Standards,
- b) Improvement Specific Criteria (includes patio covers and plant palette per architectural style home); and
- c) Supplemental Architectural Criteria

The first two elements (a and b) are included in this packet entitled Aesthetic Standards and the Improvement Specific Criteria for your individual home. The Supplemental Architectural Criteria will be made available, upon request, for improvements that require additional review and guidance such as room additions, enclosed patios, roofs, second floor decks, and free standing structures (i.e.; gazebo, playhouse).

The Aesthetics Review Committee (ARC) has jurisdiction over design and aesthetic aspects of the Covered Property. Covered Property is defined as all real property covered by the CC&R's which includes your lot. The ARC is a three to five person committee initially appointed by the Master Developer, DMB Ladera, and eventually appointed by the Board of Directors of Ladera Ranch Maintenance Corporation, (LARMAC).

The Aesthetic Standards include a Classification of Improvement, Level I, Level II and Level III (see page 8) to define the scope of review by the ARC and a consultant, and the submittal fee required. The ARC must approve all plans for architectural or landscaping modifications *before* the modifications are made. The ARC also has the right to review modifications as they are constructed and give final approval of completed modifications.

The Board shall be the sole and final arbitrator of the interpretation and enforcement of the Community Guidelines and Aesthetic Standards.

The Board of Directors may, from time to time, adopt additional, and/or amend existing, standards. Copies of such additions, and/or amendments will be distributed to the membership and kept on file for LARMAC

A. DESIGN PRINCIPLES FOR ARCHITECTURE

Within the community of Ladera Ranch, the architecture has been built upon the heritage of Rancho Mission Viejo and the communities of early 20th century California. The early 20th century eclectic and well composed architecture, created rich and complex neighborhood environments. The design criteria for homeowner improvements related to specific architectural styles are meant to assist in the design, processing, and implementation of home improvements which adhere to the established theme and standards of design.

In order to further support these concepts, a series of guidelines have been developed to assist you in preparing your own personal touch to your home. The following guidelines are the key ideas that you should consider while preparing your submittal.

1. Submittal to the ARC for review/approval of proposals for alterations, modifications, and additions, is required, and should be done before ordering materials and start of demolition or construction.
2. The architectural integrity of the home's style shall be maintained in all its aspects.
3. The existing architectural design details (e.g. doors, windows, cornices, roof, fascia, etc.) shall be maintained in any proposed alteration, modification or addition.
4. Color and material palette changes shall be consistent with the range of palettes for the subject home's architectural style and location.
5. Timely construction of ARC approved Improvements is required; 90 days or as determined reasonable by ARC.
6. Existing building setbacks from the street shall not be reduced.
7. Minimum rear yard building setbacks should meet county requirements and are subject to review by the ARC.
8. Where a single story element is modified the addition must provide a replacement single story element.
9. Where an exterior wall offset is modified the addition must provide a replacement wall offset.
10. Existing roof forms and roof articulation shall be emulated in any proposed addition or expansion.
11. Existing variation in building height shall be emulated in any proposed alterations to the roof and roof lines, within the maximum permitted building height.

B. DESIGN PRINCIPLES FOR LANDSCAPE

Within the community of Ladera Ranch, the landscape character has been built upon the heritage of Rancho Mission Viejo and the communities of early California. The unique qualities of the surrounding hillsides, grasslands and arroyos also played an important role when developing the personalities of each village. These personalities have been further reinforced through the use of plant material, hardscape elements and site furnishings that compliment the architectural styles.

In order to further support these concepts, a series of guidelines have been developed to assist you in preparing your own personal landscape theme. The following guidelines are key ideas that you should consider while preparing your submittal:

1. Homeowners are encouraged to use individuality in their landscape design. Copying model home or neighbor's designs is discouraged. Borrow the good ideas and develop them into your own unique expression.
2. A clean, simple design is preferred over one that is dominated by various elements. The size of your yard needs to be taken into account when preparing your landscape design. Designs should compliment the scale of the space and not overwhelm it with masses of hardscape, architectural features or plant material that will become too large.
3. Use of decorative rock/gravel/bark as a significant landscape, ground cover and/or feature within areas visible from the LARMAC property or the street is not acceptable.
4. Italian Cypress may be used as individual accent trees only. Planting masses or rows for screening purposes is not acceptable. Other trees or shrubs proposed for screening purposes are subject to review by the ARC.
5. Turf is not to be planted immediately adjacent to your home. A bed of shrubbery must be provided between the house and any turf areas.
6. When selecting garden art, it should reinforce the character of your home and landscape theme.
7. Hardscape elements such as concrete, brick, stone, etc. should be chosen to match or compliment the exterior colors and materials of your home.
8. A permanent automated irrigation system should be installed.
9. Existing street tree irrigation must not be modified and shall be maintained as installed.
10. Deciduous and flowering plant material should be incorporated into your landscape design to provide seasonal change and interest.
11. Plant material for your landscape should be selected from the approved plant palette for your home's architectural character. Selection of materials not on the approved plant palette may be impacted by Ladera Ranch's unique climate and soils conditions.
12. There are numerous designers, contractors, books, videos, TV shows and existing homes that can help you develop a successful and pleasing landscape. Please refer to these resources when developing your own personal landscape.

C. GENERAL PRINCIPLES

1. No Owner shall alter any landscaping, and/or otherwise change any LARMAC Property.
2. If proposed Improvements require access over LARMAC Property for the purposes of transporting labor or materials, written permission for such access shall be required from LARMAC. Any such requests must be filed with the ARC prior to the commencement of construction.
3. The Owner must obtain written permission from the adjoining property Owner when construction work requires the use of adjoining property. A copy of the Owner's written permission shall be filed with LARMAC *Property Improvement Form (Form B)*.
4. Color samples of all paint or stain are required to be submitted to the ARC if any areas are to be painted different than currently exist on the exterior architectural features.

Note: Paint color changes must stay within the architectural style of your home and within the (color palette of the) village (in) of which you live.

5. All work must be performed in a manner consistent with the original construction standards of the Residence, and with the design and appearance of the community. All work considered to be of an unsightly finished nature, or of lesser quality than the prevailing community standards, shall be reworked to an acceptable appearance at Owner's expense.
6. If written approval of the ARC is not obtained for any exterior change to a Residence and/or lot, construction shall constitute a violation of the CC&R's, and the unauthorized Improvement may have to be modified or removed at the Owner's expense.
7. Once an Owner receives approval from the ARC, construction may commence. Upon completion of the approved Improvement(s), a LARMAC *Notice of Completion (Form D)* must be forwarded to LARMAC Aesthetic Review Committee via Avendale Village Club, 1 Daisy Street, Ladera Ranch, CA 92694.
8. Rear yard improvements for lots adjacent to descending slopes (especially top-of-slope walls and improvements placed adjacent to top-of-slope walls) should be expected to undergo earth movements related to expansive soils, soil creep and/or lateral fill extension. Vertical and horizontal movements on the order of several inches should also be anticipated. All rear yard improvements should be designed to accommodate both types of movement.
9. All structures or improvements placed by homeowners upon their Lot or the Exclusive Use Common Area appurtenant to their Unit, should be designed to accommodate earth movements related to the effects of expansive soils, soil creep, lateral fill extension, etc. This earth movement is especially likely when the structure or improvement is placed adjacent to a descending slope. Design details to compensate for such movement such as reinforcement, rock subbase, thickened edges, movement joints, etc. should be utilized in the construction of the improvement.
10. No improvements should be directly connected to top-of-slope walls in any way.
11. The pad grade adjacent to the top-of-slope walls should not be changed.
12. Movement-sensitive improvements such as hardscape, footings and other structural/anchoring elements of an improvement should be constructed with professional advice from a geotechnical engineer for design, placement and construction
13. All improvements should incorporate drainage devices such that all surface drainage is directed away from the top-of-slope.

14. Pools and spas located in areas near a top-of-slope should not be designed, placed or constructed without appropriate input from a geotechnical engineer.

III. PROCESS/SUBMITTAL REQUIREMENTS

Owners ("Applicants") are suggested to obtain ARC approval for front and side yards within 4 months of the close of escrow and **must** complete improvements of front and side yards within 9 months of the close of escrow. All portions of the yard of a Residence which are unimproved and visible from the street or publicly accessible LARMAC Property (e.g. trails) shall be landscaped by the Owner on or before a date which is 9 months from the original conveyance of the Residence from the builder.

Portions of the yard that are not visible from the street or LARMAC Property must be submitted and approved if:

- any noise producing Improvements are proposed (i.e., spas, pools, water elements, pumps, motors).
- Improvements will change or alter either the grade or drainage such that it interferes with adjoining property, whether that property be privately owned or LARMAC Property.
- Improvements exceed the height or will grow to exceed the height of any perimeter or side yard wall or fence. Examples: All hardscape elements and vertical landscape elements, i.e. trees, fireplaces, fire pit, BBQ, pet enclosures or patio covers.

Portions of the yard that are not visible from the street or LARMAC Property need aesthetic approval **only** for the following:

- Improvements which exceed the height or will grow to exceed the height of any perimeter or side yard wall or fence
- Trees
- Pet enclosures
- Patio covers
- Any noise producing Improvements (i.e., spas, pools, water elements, pumps, motors)

Improvements, which will change or alter either the grade or drainage such that it interferes with adjoining property, whether that property is privately owned or LARMAC Property.

A. PROCEDURES FOR SUBMITTALS

1. Submittals shall be made by mail to:

LARMAC Aesthetic Review Committee
Avendale Village Club
1 Daisy Street
Ladera Ranch, CA 92694

(See LaderaLife for administrator's e-mail address for Classification I submittals only)

2. Submittals to, and approvals by, the ARC shall occur *prior* to installation and should be done before ordering materials and start of demolition or construction.
3. Any submittals not complete (as to required forms, submittal fee, copies, information) will not be accepted and will be returned to the Owner.

A minimally complete application must include items #4 - #8 below:

4. A plot plan drawn to scale with specifications, including color scheme & samples; 2 copies. (See page 7, #2.)
5. LARMAC Property Improvement Form (*Form B*); 1 copy.
6. Neighbor Notification Statement (*Form C*); 2 copies.

It is the intent of the ARC that the applicant's neighbors be notified of any Improvements which may impact the use and enjoyment of the neighbor's property.

Applicable Neighbors

Adjacent Neighbor:	means all neighbors with adjoining property lines to the applicant.
Facing Neighbor:	means the three (3) neighbors most directly across the street.
Impacted Neighbor:	means all neighbors in the immediate surrounding area which would be affected by the construction of an Improvement.

Applicant shows the drawings to neighbors and requests their signatures on the Neighbor Notification Statement (*Form C*). Signature of this form does not constitute neighbor approval of the improvements. Should any neighbor decline to sign the statement or the facing, adjacent or impacted residence be owned by the builder, such circumstances must be noted by the Owner on the Neighbor Notification Statement.

7. Photographs of front elevation of home or area applicable for submittal; (2 copies). Photos will not be returned.
8. Check made payable to LARMAC for submittal fee, if required, in the amount of \$35.00 or \$100.00, as applicable based upon Classification of Improvement (See page 8). *(The Committee requires the submittal fee to cover costs of hiring a consultant to review the proposed Improvements.)*
9. Approval of improvements by the ARC is for aesthetic purposes only. It is the Owner's responsibility to see that all federal, state, and local ordinances and codes are followed. The County of Orange may require permits.

B. PLANS / SPECIFICATION REQUIREMENTS

1. The minimum size requirement for a plan submittal is 8 1/2" x 11" (2 copies).
2. The plan must be drawn to scale and scale indicated on plan.
3. Provide your name, address, tract and lot number on each plan.
4. Indicate the location of the bottom of any slope and the top of any slope, if applicable.
5. Accurately show the footprint of your home, including lot lines, existing fences and/or walls, and existing utilities.
6. A dimensioned hardscape plan showing proposed new and existing: paving, walls, fences, pools, patio covers, drainage, and structures accurately described as to materials, length, height, and angles.
7. Indicate the nature, kind, shape, dimensions, materials, color, finish and location of proposed Improvements.
8. A description of the materials to be used, including the proposed color scheme. Attach samples i.e. brochure for hardscape, light fixtures, gate design, awning style, etc.
9. Grading plans, (if applicable), which show where the established drainage pattern may be altered by the proposed Improvements. Indicate locations of drainage devices and curb cores.
10. Irrigation design/ plan or description with list of materials.
11. Location and name of all trees, shrubs, vines, ground cover and turf areas must be shown on plan. (See Improvement Specific Criteria for approved plant palette.)

General Note: Refer to Exhibits A, B and C for sample plans for submittal purposes (See pages 15-17)
Refer to Improvement Specific Criteria for patio plan and approved plant palette for your home.

C. CLASSIFICATION OF IMPROVEMENTS / FEES

This Classification of Improvement, Level I, Level II and Level III define the scope of review by the ARC and a consultant, and the submittal fee required. The Aesthetic Standards and Improvement Specific Criteria provide guidance for Level I and Level II. This should also assist you in completing the Property Improvement Form (*Form B*). Prior to the purchase, design or submittal process of Level III Improvements, the homeowner needs to the Supplemental Architectural Criteria from LARMAC.

Refer to pages 18 & 19 for *specific* guidelines for Level I and Level II.

LEVEL I	LEVEL II	LEVEL III
<ul style="list-style-type: none"> • Level I improvements must be submitted for approval to the Aesthetic Review Committee however, no submittal fee is required. • Exterior Lighting. • Flag Poles. • Garage doors, if altered from original design. • Garden art if visible from the street or LARMAC property <i>and</i> exceeds 2' in height. • Garden window if visible from the street or LARMAC Property. • Ground level deck if visible from the street or LARMAC Property. • Lamp Posts. • Landscaping (plant material, irrigation) the yard of a residence while maintaining builder-installed driveway, walks, and walls. • Screen doors. • Sheds visible above fence line. • Shutters, if altered from original design. • Window Awnings. 	<p>Level II improvements must be submitted for approval to the Aesthetic Review Committee; however, a \$35.00 submittal fee is required.</p> <ul style="list-style-type: none"> • Any change that deviates from the approved color palette of the exterior style and location of a home or fencing. • Any hardscape modifications. • Diverters/Gutters/Down Spouts other than pre-approved. • Open patio covers. • Original landscape modifications. (Includes parkway) • Original fencing/wall modifications. • Pools, spas, fountains, water elements, pumps, motors, any noise producing improvements, pet enclosures. 	<p>Prior to the purchase, design or submittal process of Level III improvements, the homeowner needs to request the Supplemental Architectural Criteria from LARMAC.</p> <p>Level III improvements must be submitted for approval to the Aesthetic Review Committee; however, a \$100.00 submittal fee is required.</p> <ul style="list-style-type: none"> • Enclosed patio. • Exterior stairs. • Free standing structures, i.e. gazebo, playhouse. • Roofed patio covers. • Roofs. • Room additions. • Second floor deck. • Solar energy systems.

NOTE: This listing for class of improvements may not be all-inclusive, however, it serves as a guideline for the Board of Directors, the Aesthetic Review Committee/consultant and the homeowner for the submittal process.

D. COMMITTEE REVIEW PROCESS

The ARC meets twice a month to process submittals. All plans must be received by LARMAC by 5:00 p.m. on Tuesday prior to the week of review.

Aesthetic Review Committee reviews the *Property Improvement Form*, the *Neighbor Notification Statement*, and the drawings for completeness and consistency with the Aesthetic Standards.

The committee has 45 days to approve or deny the submittal. Approval may be given with conditions. All conditions and recommendations must be followed.

Incomplete applications are deemed not submitted. Incomplete applications will be returned to the submitted Owner without action.

Once an Owner receives approval from the ARC, construction may commence and timely completion of Improvement is required. Upon completion of the approved Improvements(s), a LARMAC *Notice of Completion (Form D)* must be forwarded to LARMAC.

Construction must proceed consistent with the approved plan. All deviations must be submitted for review and approved by the Committee prior to commencement of work.

Quick Tips for a Plan Submittal

Owners ("Applicants") are suggested to obtain ARC approval for front and side yards within 4 months of the close of escrow and **must** complete improvements of front and side yards within 9 months of the close of escrow. All portions of the yard of a Residence which are unimproved and visible from the street or publicly accessible LARMAC Property (e.g. trails) shall be landscaped by the Owner on or before a date which is 9 months from the original conveyance of Residence from the builder.

Committee Meetings

The ARC has 45 days to review plans. The ARC meets twice a month to process submittals. For meeting dates, contact LARMAC at (949) 218-0900 or this information can be found on LaderaLife.

Where to Submit Plans

LARMAC Aesthetic Review Committee
Avaldale Village Club
1 Daisy Street
Ladera Ranch, CA 92694

(See LaderaLife for administrator's e-mail address for Classification I submittals only)

Plan Submittals Must Include

1. LARMAC Property Improvement Form (*Form B*); 1 copy.
2. Plan and specifications, including color scheme and drainage plan, 2 copies.
3. Neighbor Notification Statement (*Form C*); 2 copies.
4. Photographs (2 copies), where applicable.
5. Check made payable to LARMAC for submittal fee, if required, in the amount of \$35.00 or \$100.00, as applicable based upon Classification of Improvement (See page 8). (*The submittal fee helps cover costs of hiring a consultant to review the proposed Improvements.*)
6. All forms are included in this packet, may be obtained from the Avaldale Village Club or LaderaLife under LARMAC\Information\Governing Documents\Aesthetic Standards.

Important Notes

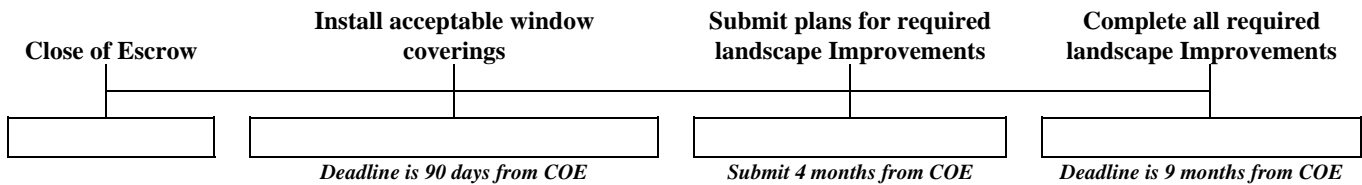
- ✓ Refer to New Owner Timeline (*Form A*) to assist you with deadline dates.
- ✓ Read the Aesthetic Standards carefully before submitting plans.
- ✓ Please verify that you received the Improvement Specific Criteria for your individual style home. (Patio plan and approved plant palette.)
- ✓ The Supplemental Architectural Criteria will be made available, upon request, for improvements that require additional review and guidance such as room additions, enclosed patios, roofs, second floor decks, and free standing structures (ie. gazebo, playhouse).
- ✓ The ARC may place conditions and/or limitations on your approval.
- ✓ Portions of the yard that are not visible from the street or LARMAC Property need aesthetic approval **only** for the following:
 - Improvements which exceed the height or will grow to exceed the height of any perimeter or side yard wall or fence
 - Trees
 - Pet enclosures
 - Patio covers
 - Any noise producing Improvements (i.e., spas, pools, water elements, pumps, motors)
 - Improvements, which will change or alter either the grade or drainage such that it interferes with adjoining property, whether that property is privately owned or LARMAC Property.

Ladera Ranch Maintenance Corporation

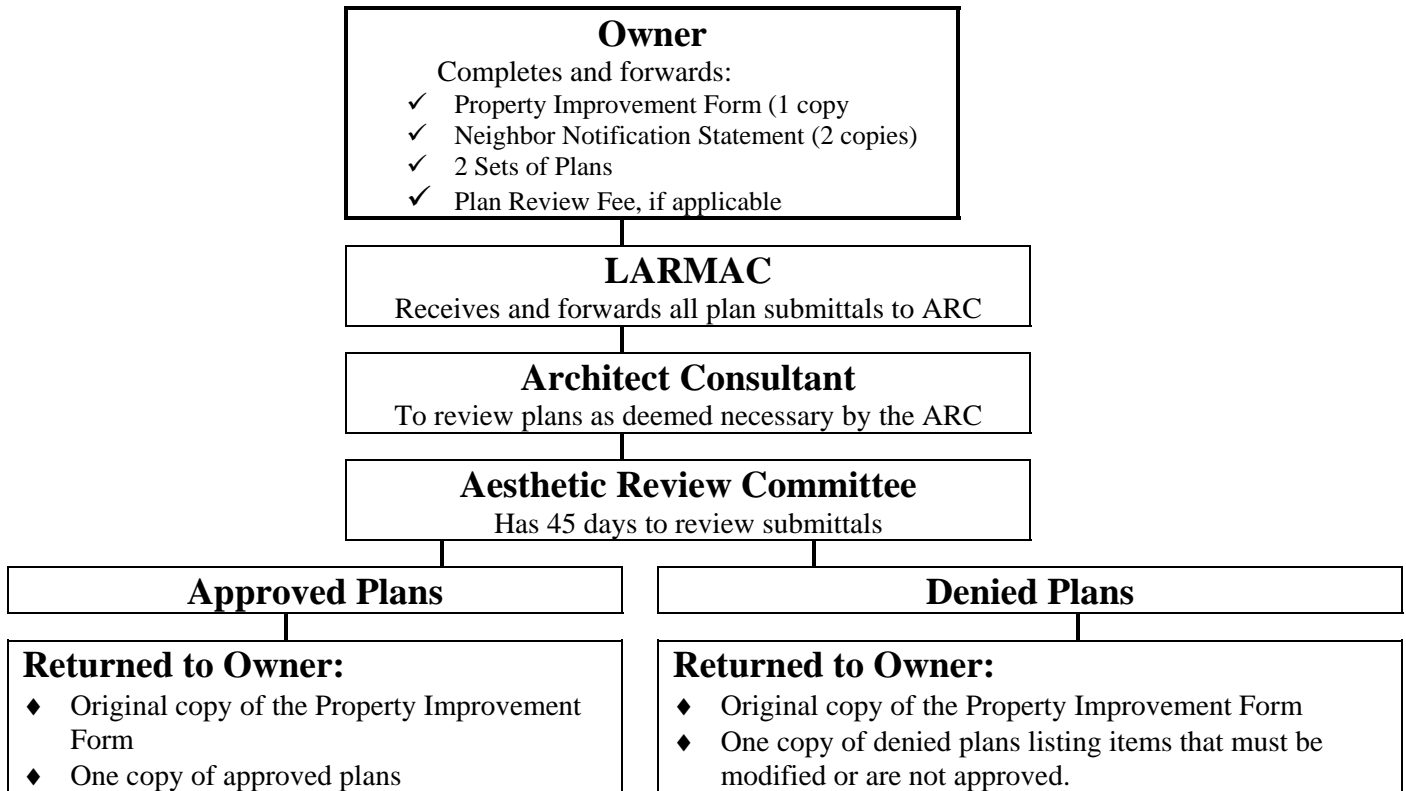
New Owner Timeline

This timeline will assist you in determining the dates you should be aware of for landscape Improvements and window coverings.

Deadlines are based on the Close of Escrow (COE) date and the time frames outlined in the legal documents.



Plan Submittal / Review Process



FORM A

LARMAC AESTHETIC REVIEW COMMITTEE

1 Daisy Street
Ladera Ranch, CA 92694
949/218-0900

LOT _____ TRACT NAME _____
CLOSE OF ESCROW _____ / _____ / _____

LARMAC PROPERTY IMPROVEMENT FORM

X _____
Homeowner's Signature

Name _____ Home Phone _____ Work Phone _____

Address _____ Ladera Ranch, CA 92694

SUBMITTAL REQUIREMENT CHECK LIST

- Property Improvement Form Completed; (1 copy)
- Neighbor Notification Statement; 2 copies
- Two (2) Copies Of Plans
- Applicable Application Fee as noted below (Payable To LARMAC)

Please check proposed Improvement:

LEVEL I - No Fee

- Garage Door / Shutters
- Garden Art (provide photo / drawing)
- Garden Window
- Ground Level Deck
- Lamp Post / Flag Poles (provide drawing of pilasters / light posts)
- Landscape (provide plant list & locations on plan)
Front Rear
- Irrigation (drains / automatic system must be indicated on plan)
- Lighting (provide photo / drawing)
- Screen Door(s)
- Shed
- Window Awning(s)

LEVEL II - \$35.00 Fee

- Gutters / Diverters / Down Spouts
- Original Fencing / Wall / Gate modifications (provide detail / drawing)
- Original Hardscape Modifications (provide sample of slate / stone / brick / tile / colored concrete)
- Original Landscape Modifications (provide plant list & locations on plan)
- Open Patio Cover(s) (provide sketch with top and side view, dimensions, materials, color)
- Paint Modifications (provide paint samples)
- Noise Producing Improvements (pet enclosures / air conditioning / etc.)
- Water Feature (pool / spa / fountain) (provide photo / construction detail)

LEVEL III - \$100.00 Fee

- Enclosed Patio
- Exterior Stairs
- Free Standing Structure (gazebo/playhouse)
- Roof(s)
- Room Addition(s)
- Second Floor Deck
- Solar Energy Systems
- Solid Roofed Patio Cover(s)

IF NOT LISTED ABOVE, PLEASE DESCRIBE: _____

↓ Aesthetic Review Committee Use ONLY ↓

- Do Not Pour Concrete Against Existing Fences.
 - Do Not Backfill Against Existing Fences.
 - Core Through Curb For Drainage. (Must obtain County, city or governmental agency approval)
 - Maintain Existing Drainage Pattern Or Provide Alternative Drainage plan.
 - Submit Additional Impacted Neighbor Signature For _____ Must Be Painted To Match Existing Stucco Or Fascia Trim.
 - All Lighting Must Be Of Low Illumination Level
- Please Refer To All Conditions On The Reverse Of This Form.**

THE AESTHETIC REVIEW COMMITTEE HAS DETERMINED THAT THE ABOVE SUBMITTED IS:

- APPROVED APPROVED WITH CONDITIONS DISAPPROVED AS SUBMITTED
- MEMBERS OF A NEIGHBORHOOD CORPORATION (See # 2 under General Conditions, on the reverse of this form)

COMMENTS: _____

LARMAC AESTHETIC REVIEW COMMITTEE DATE: _____ INITIAL: _____

FORM B

GENERAL CONDITIONS

1. LARMAC Aesthetic Review Committee (ARC) approval does not constitute waiver of any requirements required by applicable governmental agencies.
2. Members of a Neighborhood Corporation must receive approval from the Neighborhood Corporation prior to commencement of any Improvement or modification.
3. ARC approval of plans does not constitute acceptance of any technical, engineering, structural or drainage specifications, and LARMAC assumes no responsibility for such. The function of the ARC is to review submittals as to aesthetics. All technical, engineering, structural or drainage matters are the responsibility of the Owner.
4. Front and front/side yards require ARC approved landscaping/groundcover to be completely installed within nine (9) months from the original close of escrow from the builder.
5. Should the ARC inadvertently approve an Improvement which conflicts with a provision of the CC&Rs, Bylaws, Community Guidelines, Aesthetic Standards, or a Committee policy does not constitute waiver of that rule and therefore, must be corrected upon notice.
6. Approved plans are not to be considered authorization to change the original drainage plan as installed by the builder and approved by the County of Orange.
7. Orange County ordinances require Owners to maintain correct grades of Lots so that runoff does not flow onto adjoining properties or does not prevent off flow from same.
8. Access for equipment used in construction must be through your property only. Access over LARMAC Property requires written authorization from the ARC.
9. Streets may not be obstructed with objects and building materials that are hazardous to pedestrians, vehicles, etc. Items such as, but not limited to, sand, and building materials, may not be stored on streets, sidewalks or LARAMC Property.
10. Building permits from any applicable County, City or governmental agency may be required for certain Improvements.
11. Any damage to LARMAC Property will be replaced or repaired by a LARMAC subcontractor. All applicable charges for restoration will be charged back to the Owner by LARMAC, and is due and payable within 30 days from notification.
12. Approval of plans is not authorization to proceed with Improvements on any property other than the Lot owned by the applicant.
13. Once an Owner receives approval from the ARC, construction may commence. Upon completion of the approved Improvement(s), a LARMAC Notice of Completion (Form D) must be forwarded to LARMAC at the address listed on the front of this form.
14. Any photos required by the ARC will not be returned to the Owner.

NOTE: Owner may also need to acquire approval from the utility company and/or the County, or City for permission to encroach within an easement, which will access Owner's lot.

FORM B

LARMAC

NEIGHBOR NOTIFICATION STATEMENT

The attached plans were made available to the following neighbors for review:

Impacted Neighbor	Impacted Neighbor
Name	Name
Address	Address
Signature Date	Signature Date

Common Area or Back Yard - Rear of Home

Adjacent Neighbor		Adjacent Neighbor
Name		Name
Address		Address
Signature Date		Signature Date

Your Street - Front of Home

Facing Neighbor	Facing Neighbor	Facing Neighbor
Name	Name	Name
Address	Address	Address
Signature Date	Signature Date	Signature Date

My neighbors have seen the plans I am submitting for the Aesthetic Review Committee review (see above verification). I, as the applicant certify that I have requested that my neighbors sign this statement confirming notification. I understand neighbor objections do not cause denial of the plans.

SUBMITTED BY:

Name: _____ Date: _____

Address: _____

DESIGNATE TREE LOCATIONS

CATCH BASIN

DECK DRAIN

DRAINLINE INDICATE SIZE

ATRIUM DRAIN

INDICATE ON PLAN WHETHER OR NOT YOUR EXISTING DRAINAGE WILL BE MAINTAINED OR YOU WILL USE DRAINAGE DEVICES TO DRAIN YOUR LOT.

NAME:
ADDRESS:
TRACT NO:
HOME BUILDER NAME:

ATRIUM DRAIN

CATCH BASIN

DESIGNATE EXISTING TREES

EXISTING STREET TREES

DESIGNATE CURB CORE LOCATIONS

PLANT MATERIALS LIST:
TREES:

.
.

VINES/ESPALIERS:

.
.

SHRUBS:

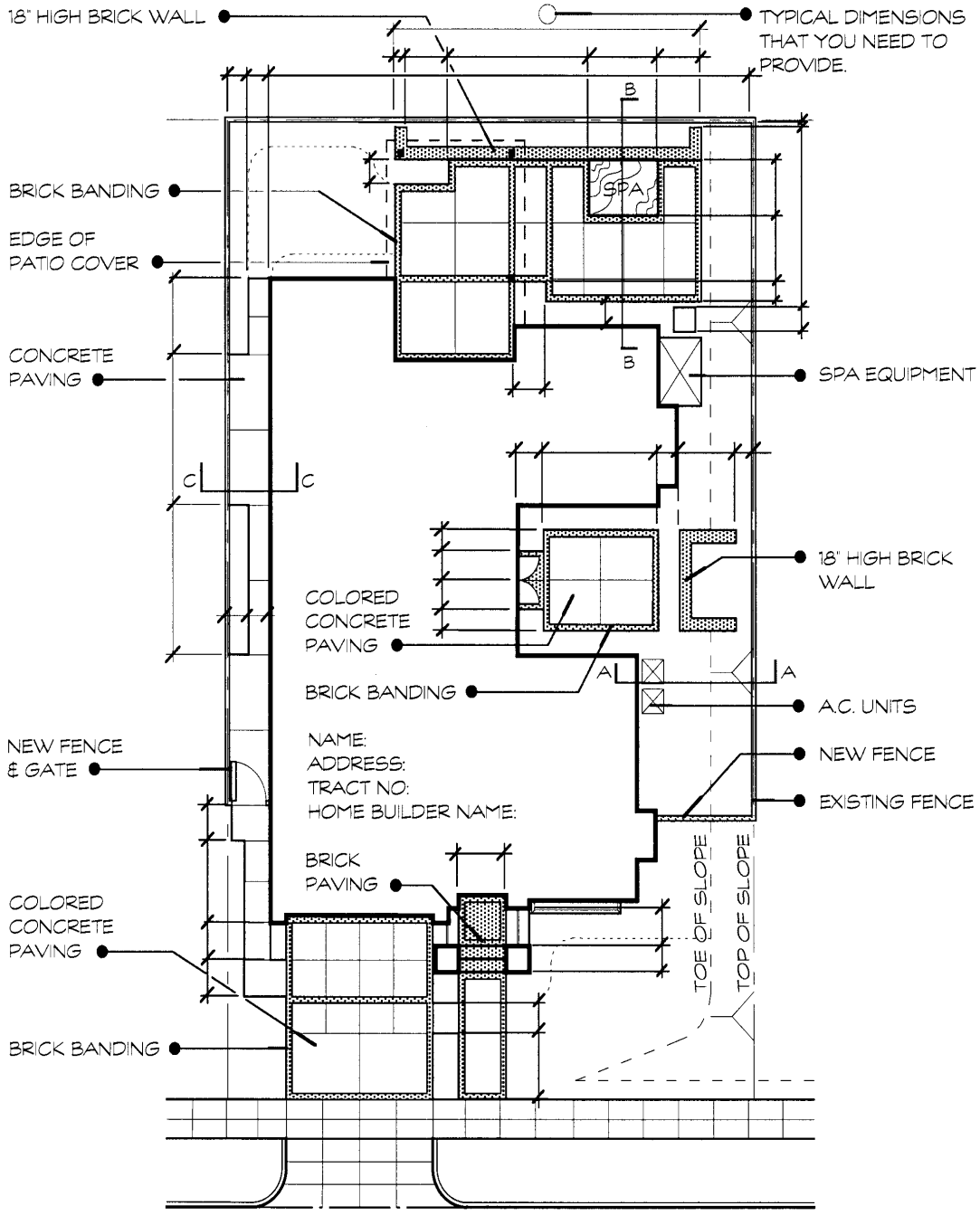
.
.

GROUNDCOVERS:

.
.

PLANTING AND DRAINAGE PLAN

DRAWING SCALE:
DATE:



MATERIALS LIST

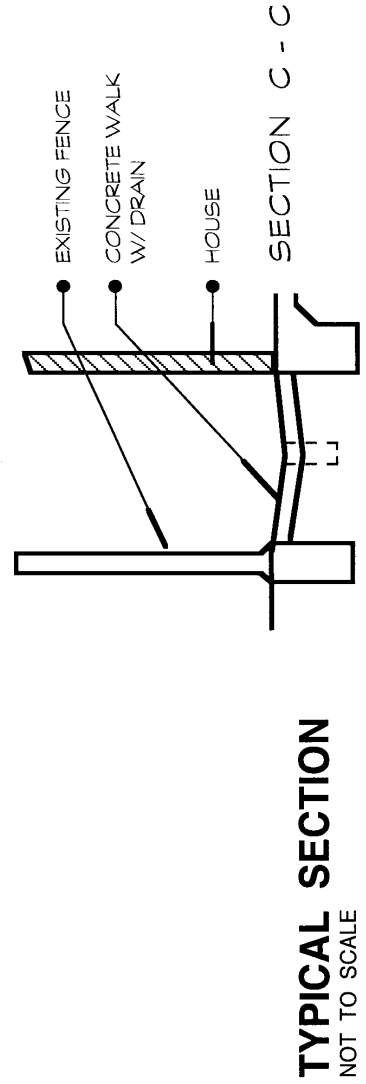
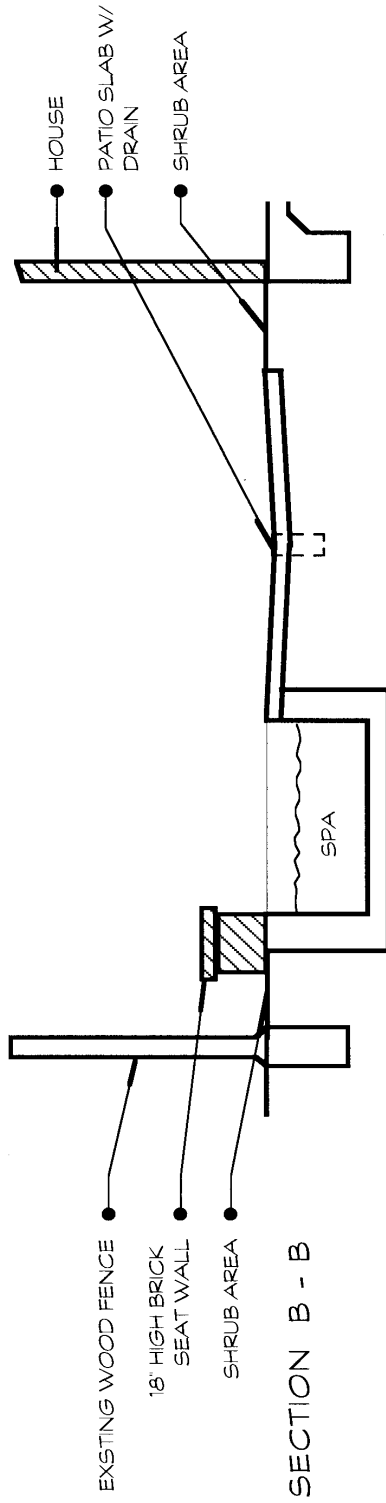
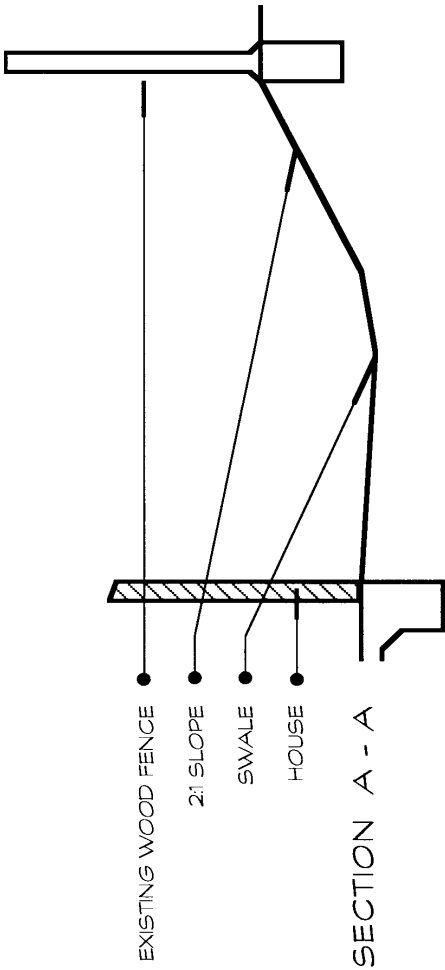
- CONCRETE:
- COLOR:
 - SURFACE FINISH:
- BRICK:
- TYPE:
 - COLOR:

- WOOD PATIO COVER:
- WOOD TYPE:
 - COLOR/FINISH:
- WOOD FENCE:
- WOOD TYPE:
 - COLOR/FINISH:

CONSTRUCTION PLAN

DRAWING SCALE:
DATE:

LADERA RANCH



LANDSCAPE INSTALLATION GUIDELINES

1. Prior to any installation, you should have an agricultural suitability test performed on your yards soil. This can be obtained at most nurseries and will give you basic guidelines on how to amend your soils to insure successful growing conditions for your plants.
2. Prior to installing any walks, walls, etc., chalk or paint out the design to get a feel as to how it works in your yard. You should ask yourself the following questions:
 - Is the width of my proposed walks appropriate for their intended use?
 - Is the amount of hardscape planned in scale with the overall size of my yard?
 - Are any architectural features (such as a low pilaster with a light) in scale with the overall design?
 - Are the colors and/or materials that I have selected for my hardscape elements compatible with my home's color palette?
3. You should perform a weed abatement program prior to planting any of your plants. This can be performed as follows:
 - Blend all soils amendments into your soil based upon the recommendations of your soils report.
 - Water your yard for ten (10) days to stimulate weed growth.
 - After the ten (10) days, spray your yard with a general weed killer such as Round-Up per the manufacturers recommendations.
4. Because of the nature of soils in south Orange County, when pouring concrete, you should install steel reinforcement such as welded wire mesh in the center of your slabs. You should also provide scorelines and/or expansion joints in any concrete that exceeds ten (10) square feet.
5. In areas where positive drainage to the street will be interrupted by hardscape or planting, drainage devices and pipe should be installed and an outlet provided to the street through a curb core.
6. A permanent irrigation automated system should be installed.
7. Grade or rake out your yard to insure positive drainage to the street or drainage devices.
8. Prior to installation, layout your plant material while they are still in the containers to get a feel for the spacing and overall look. Recommended spacing for shrubs is 75% of their ultimate growth width.
9. Installing a mow strip will help in keeping a clean edge along your lawn areas. Concrete is the most durable. Wood, masonry or plastic products are easy to install. In all cases, these should be installed so that no more than 1" is exposed above the topsoil level.
10. Lawn areas should not be planted on a slope any steeper than 20% (5 : 1). This will allow for ease in mowing and minimize irrigation run-off.
11. Lawn areas can be planted three different ways in accordance with the recommended plant palette for the style of your home:
 - Sod - easy and most successful way to install.
 - Hand seed - can be done by homeowner but often requires multiple applications due to run-off, lack of water, or birds eating seeds.
 - Hydroseeding - must be applied by a contractor and sometimes requires multiple applications.

12. When installing trees, shrubs, vines or espaliers, the diameter of the hole you dig should be twice that of the container it comes in. After setting it in the hole, backfill should consist of a combination of your existing soil blended with the amendments that were recommended in the soils test results you should obtain. A water basin consisting of a compacted mound of soil following the shape of the planting pit should be constructed around each plant.
 13. If you are planting any trees that may potentially create root problems for your hardscape, you should install a linear root barrier to help provide protection. This should be installed along the edge of your hardscape as per the manufacturer's recommendations.
 14. Small, single trunk trees should be staked to protect them from possible damage. One or two stakes with two or more tree ties will help provide this protection.
 15. Vine and/or espaliers should be removed from their nursery stakes or trellises and attached to the adjacent surface with plastic epoxy ties, wire or through some other means of attachment.
 16. Ground cover should be installed at a spacing that will insure full coverage when plants mature. An alternative to ground cover would be shredded mulch. This helps retain the moisture in the soil and impedes weed growth.
 17. After planting, apply water in sufficient quantities and as often as seasonal conditions require to keep the ground wet at all times, well below the root system of grass and plantings.
 18. Thirty (30) days after installation, all landscape areas should be fertilized with a general fertilizer such as 16-6-8 at the rate recommended by the manufacturer.
- * Caution - fertilizers with iron in them will stain your concrete when water is applied. Make sure that you sweep off all fertilizer prior to watering.

IV. GENERAL STANDARDS

A. Specific Criteria

Drains

Area and planter drains must be installed in private yards for adequate drainage to permit the plants to survive and to minimize the ponding of water. There shall be no interference with the established drainage patterns over any Lot, or Common Area, unless an adequate alternative provision is made for proper drainage. The landscape irrigation system should be designed to prevent excessive saturation of soils. Planters created by walkways next to a Residence should be lined with an impervious surface and should contain drain inlets to drain excess water. All drains should connect to a collector line, which positively drains to the street.

Driveways

The widening of a driveway may not exceed 18" on either side.

Exterior Lighting

Exterior lighting must be of a low illumination level. Higher levels of lighting may be approved, if they are neither directed nor placed so as to create an annoyance to the neighbors. Glass block is not acceptable, as it does not match the architectural style of the homes in Ladera Ranch.

Exterior Painting

Any Improvement may be repainted without Aesthetic Review Committee approval so long as the Improvement is repainted with an approved color for the home's architectural style and location. Any change that deviates from the approved color of the exterior style and location of a home or fencing, regardless of whether submitted by an Owner or a Neighborhood Corporation, must receive the written approval of the ARC.

Exterior Stairs

The location, material, and color of new exterior stairs shall be compatible with the existing house. Stair supports must be designed as integral parts of the house. Prefabricated metal stairs may be permitted if they are compatible with the architecture of the home.

Fences

- Fences of chain link, poultry wire, woven wire, aluminum, sheet metal, plastic, fiberglass, reeds, straw, bamboo, rope and other similar temporary or commercial materials are not permitted.
- Wood fencing that becomes discolored may be required to be painted or stained.
- No double fences shall be allowed along the same property line.
- Fencing shall not exceed 6 feet in height.
- Lattice may not be placed on community perimeter walls or fences bordering LARMAC Property nor may the height of these walls or fences be modified. However, a lattice extension is allowed on top of an existing party wall fence and shall not exceed an overall fencing height of 6 feet.
- Community perimeter wrought iron bordering LARMAC Property may not be replaced with block or other type of fencing.

Free Standing Structures

- Gazebos, pergolas, trellis' and any other overhead, freestanding structures shall not exceed 10 feet in height between neighboring lots and must be at least 5' from existing perimeter wall or fencing.

Lava Rock /Decorative Rock/Bark

- Use of decorative rock/gravel/bark as a significant landscape feature within areas visible from LARMAC Property or the street is not acceptable.
- The plan must show the total percentage of the overall front yard to be covered by rock and/or gravel.
- Colors must be used which blend with the natural landscape.

Maximum Heights

The maximum building heights of all attached improvements shall be consistent with the County Code.

Parkways and Street Trees

The parkway, which is defined as the space between the curb and sidewalk, is a key element to the overall neighborhood street scene. Street tree species have been selected for their ability to reinforce the village theme and compliment the architectural scale of the neighborhood. Trees will be planted by the Developer at a frequency to insure a visible street program. This may result in more than one tree per lot. These areas on the Lots or in the County right-of-way are designated as Street Tree Areas. **If existing parkway landscape is to be modified, ARC review is required.**

LARMAC Responsibility

To trim and root prune the tree in the Street Tree Area.

Owner Responsibility

- Feeding, maintaining, (and) irrigating the trees, tree stake removal, and landscaping in the Owner's Street Tree Area.
- The Owner assigned to each Street Tree may not remove or relocate the trees in the Street Tree Areas without the prior written consent of LARMAC and/or ARC.
- If any tree in a Street Tree Area requires replacement, the Owner assigned to such Street Tree Area must replace the Street Tree in the same location with a tree of the same variety and with a minimum box size of twenty-four (24) inches in accordance with all requirements set by LARMAC and/or ARC.
- Existing street tree irrigation must not be modified **and** shall be maintained as installed.

Pools and Spas

Spas and similar water features such as swimming pools are permitted in private yards not visible from the street. A spa or other similar water feature must not damage existing walls or fences. All equipment shall be completely screened from view from the street, and all reasonable efforts to minimize noise must be undertaken by Owner.

Screen Doors

Screen doors on the front door or entrances shall be required to be painted to match the color of the front door and the style must conform to the architectural character of the home. Must be submitted and approved by ARC.

Storage Sheds/Utility Buildings

Storage sheds and/or utility buildings must adhere to the following:

- Match the same color as the Residence
- Plant material must be used to soften the look of the structure, be planted within 30 days, and continuously maintained thereafter.
- Visible coverage from said planting must occur within 120 days of approval.
- The maximum height for all such structures is 6 feet.

Visual Barrier/Privacy Screen

Any plant material, including trees and shrubs, planted to create a visual barrier/privacy screen must be reviewed by the Aesthetic Review Committee on a case-by-case basis. If more than 2 trees are planted in a row the following criteria is applied:

- Trees must be spaced 5' or more than their ultimate branch/limb width to assure at least 5' of open space between trees.
- Trees are to be selected that maintain an open appearance or must be pruned to maintain an open appearance.
- If trees are planted closer or denser appearance is desired, the tree(s) approved must be maintained to a maximum height of 10'.

Window Awnings

Awnings must be compatible with the color and design of the existing home. They must be simple in design and color. The size, location, and form must be in scale with the window. Awnings must be properly maintained to the satisfaction of the ARC and may not be kept when frayed, split, torn, or faded. Temporary sun shades attached to the outer wall of the house, patio cover, or gazebo - such as rolls of bamboo, fiberglass or reed are not permitted.

Window Coverings

Only curtains, drapes, shutters, or blinds may be installed as permanent window covers. No aluminum foil, paint, newspaper or similar coverings deemed to be inappropriate for a window covering shall be applied to the windows or doors of any Residence. Owners may use white sheets to cover windows after the Close of Escrow pending the installation of drapes, curtains, shutters or other appropriate interior window coverings for 3 months from the close of escrow.

B. MISCELLANEOUS

Flagpoles

The installation of flagpoles shall be subject to review.

Garden Art

Must be reviewed by the ARC if the garden art is visible from the street or LARMAC Property and exceeds 2' in height. Photo required.

Garden Window

Must be reviewed by the ARC if visible from the street or LARMAC Property.

Ground Level Deck

Must be reviewed by the ARC if visible from the street or LARMAC Property.

Holiday Lighting

Placement and display of holiday lighting is permitted without ARC approval 60 days prior and 30 days after the holiday.

Lamp Posts

Must be reviewed by the ARC if visible from the street or LARMAC Property.

Satellite Dishes

All satellite dish submittals over 39" are reviewed on a case-by-case basis.

Unightly Items

All weeds, rubbish, debris, or unsightly materials or objects of any kind shall be regularly removed from the Lots and shall not be allowed to accumulate thereon. All clotheslines, refuse containers, woodpiles, storage areas, machinery, and equipment shall be prohibited upon any Lot unless obscured from view of adjoining streets, Lots, sidewalks, Residences, or LARMAC Property.

Solar Energy Systems

Each Owner may install a solar energy system which serves his Lot so long as (a) the design and location of the solar energy system meet the requirements of all applicable governmental ordinances and (b) said design and location receive the prior written approval of the Aesthetics Review Committee.

- Energy systems must be integrated into the roof design, to respond to the roof slope, and designed to minimize the profile of the collector.
- Frames must be colored to compliment the roof.
- Natural aluminum frames are prohibited.
- Support for solar equipment shall be enclosed and screened from view.
- All mechanical equipment exposed to the exterior shall be located in a manner which minimizes visual and noise impact.

C. PRE-APPROVED ITEMS

Address Sign

All house number(s) replacing the original number(s) may not exceed six (6) inches in height and the entire area of the sign shall not exceed 1 square foot. Acceptable materials shall include, but are not limited to, wood, ceramic tile, and metal.

Basketball Backboards

Basketball backboards may be freestanding or attached to the house.

- Basketball backboards attached to the house must have the backboard and all attachments painted to match adjacent surfaces or be transparent to reduce their prominence on the building elevation.
- Basketball backboards that are freestanding and portable should be stored behind the building setback when not in use. At the current time, the County of Orange has regulations against these items in the public right of way and the County of Orange may enforce these provisions. **
- Basketball backboards that are freestanding and permanent may not be placed closer to the street than the front plane of the home. Basketball backboards of this type are subject to review and approval by the Aesthetic Review Committee (ARC) prior to installation.
- Basketball backboards must be well maintained at all times, including the net and if a transparent backboard is used, it shall be free of cracks, fogging, stress lines, etc. which blur the backboard.

**LARMAC does not enforce County ordinances

Diverters/Gutters/Down Spouts:

Such Improvements shall be colored to match the adjacent surfaces to which they are attached or consist of a material that matches the architectural style of the home and shall be tied to the yard drain system.

Garage Doors

Need approval only if altered from original design and/or approved color palette.

Playground Equipment

Swings and other playground equipment may be erected, provided it is located unobtrusively or screened from view and may not exceed ten (10) feet in height. Play equipment is not allowed in the front yard or in side yards outside of fence perimeters.

Satellite Dishes/Antennae

- All satellite dishes, MMDS – An antenna designed to receive (wireless cable) programming services via multi-channel, multipoint distribution services; and DBS – An antenna designed to receive direct broadcast satellite service antennas must be one (1) meter (39") in diameter or less are permitted.
- Antennas larger than one (1) meter (39"), except TVBS - An antenna designed to receive over-the-air television broadcast signals are prohibited unless approved by the ARC.

Shutters

New shutters must match existing shutters, painted to match the trim/fascia color, and the shutters must fit the architectural character.

Conditions Not Defined: Any condition or material not defined within these Aesthetic Standards shall become a matter of judgment on the part of the ARC.